

# DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: September 9, 2004

ITEM NO. 4 & 5

SUBJECT	<b>DC Ranch T-1 Silver Leaf Golf Villas Preliminary Plat</b>
REQUEST	<p>Request to approve preliminary plat, site plan, and elevations for a 29-lot development on 8.26 +/- acres.</p> <p><b>11-PP-2004 &amp; 25-DR-2004</b></p> <p><b>Key Items for Consideration:</b></p> <ul style="list-style-type: none"><li>• This is a new development/subdivision located within DC Ranch's Town Center study area.</li><li>• The Beardsley Wash abuts the property on the east side.</li><li>• The development will comply with the Generalized Design Concept (GDC) for the Town Center Study Area of DC Ranch and the Master Plans for Planning Units III, V, and VI, including the Master Environmental Design Concept Plan.</li></ul> <p><b>Related Policies, References:</b></p> <p>54-ZN-1989#1 thru 8; Generalized Design Concept (GDC) for the Town Center Study Area; Planning Units III, V, and VI Master Plans</p>
OWNER	H & S International LLC 480-585-6898
APPLICANT CONTACT	Rong Pan H & S International 80 585-6898
LOCATION	Northeast corner of Thompson Peak Parkway & Horseshoe Canyon Road
BACKGROUND	<p><b>Zoning/Context.</b></p> <p>This property is located at the northeast corner of Thompson Peak Parkway and Horseshoe Canyon Drive. This property is located within the DC Ranch Master Planned Community and is part of DC Ranch's Town Center study area located at the core of the community. The Town Center is planned for single-family homes and mixed-use development consisting of office, retail, and integrated residential uses. This property is zoned Multiple-Family Residential/Planned Community District (R-5/PCD), which allows both multi-family and single-family housing units.</p> <p>This property is bounded by open space and trail to the north, Thompson Peak Parkway to the west, Horseshoe Canyon Drive to the south, and the Beardsley Wash to the east. Further to the east of the Beardsley Wash are existing single-family homes. This site gently slopes to the east.</p>

Scottsdale Development Review Board Report  
Case Nos. 11-PP-2004 & 25-DR-2004

APPLICANT'S  
PROPOSAL

**Goal/Purpose of Request.**

This is a request for approval of a preliminary subdivision plat of 8.26 acres into 29 single-family villas. There will be one point of access to the subdivision from Horseshoe Canyon Drive. All development will comply with the Generalized Design Concept (GDC) for the Town Center Study Area and with the Master Development Plans for DC Ranch, including the Environmental Design Master Plan (EDMP).

The 2-story villas will each have varying heights, and each have its own lot with the possibility of sharing common walls. The units and the common areas will be accessible by pedestrian paths that will also tie into the adjacent community trail. Landscaped scenic setbacks will be provided along Thompson Peak Parkway and Horseshoe Canyon Drive, with a low stone wall separating the development from the adjacent streets. Landscaping will be a lower Sonoran Desert theme and will conform to the Environmental Design Master Plan (EDMP).

The applicant proposes using stucco exteriors with a variety of earth tone paint colors. The roof will have concrete tiles, and accents include wrought iron railings and bronze window frames.

**Development information.**

- *Existing Use:* Vacant
- *Parcel Size:* 8.26 acres
- *Number of Lots:* 29 (3.5 homes per acre)
- *Building Height:* 30 feet

IMPACT ANALYSIS

**Traffic.**

There will be one point of access from Horseshoe Canyon Drive. Roads will be private and will be constructed per the approved Master Circulation Plan. Surrounding roads are constructed and have been designed to accommodate the proposal.

**Airport Vicinity.**

This property is located outside the airport noise influence area.

**Parking.**

Parking will be provided for each unit in garages and driveways.

**Water/Sewer.**

The applicant is responsible for new water and sewer infrastructure to service the site. Water and sewer infrastructure will be constructed per the approved Master Water and Wastewater Plans. There are no anticipated impacts as this area has been master planned for the proposed uses.

**Police/Fire.**

Rural/Metro Fire Department has reviewed this plat and it conforms to the minimum requirements for fire apparatus access. Police and fire facilities exist

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in the DC Ranch Master Planned Community, and no service impacts are anticipated.

**Schools.**

The subdivision falls within the Scottsdale Unified School District. The School District has been notified of subdivisions within DC Ranch, and has stated that there is adequate capacity as long as the subdivisions conform to the densities approved in the original master plan. This subdivision represents development at a much lesser density than the original master plan anticipated.

**Open space/Scenic Corridors.**

Open space will be provided along the Beardsley Wash, within buffered setbacks along Thompson Peak Parkway and Horseshoe Canyon, and within the development.

**Community Involvement.**

DC Ranch has posted this development in their newsletter, and the surrounding neighborhoods have been notified. There have been no comments regarding this case.

STAFF  
RECOMMENDATION

**Recommended Approach:**

Staff recommends approval, subject to the attached stipulations.

RESPONSIBLE  
DEPT(S)

**Planning and Development Services Department**  
Current Planning Services

Scottsdale Development Review Board Report  
Case Nos. 11-PP-2004 & 25-DR-2004

APPROVED BY

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Tim Curtis  
Project Coordination Manager  
Phone: 480-312-4210  
E-mail: tcurtis@ScottsdaleAZ.gov

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Randy Grant  
Chief Planning Officer  
Phone: 480-312-7995  
E-mail: rgrant@ScottsdaleAZ.gov

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Close-Up Aerial
3. Zoning Map
4. Preliminary Plat/Site Plan
5. Landscape Plan
6. Elevations
- A. Fire Ordinance Requirements for 11-PP-2004
- B. Fire Ordinance Requirements for 25-DR-2004
- C. Stipulations for 11-PP-2004
- D. Zoning Ordinance Requirements for 11-PP-2004
- E. Stipulations/Zoning Ordinance Requirements for 25-DR-2004

## **Project Narrative For The Silverleaf Golf Villas**

The Silverleaf Golf Villas is a neighborhood planned in joint by H&S International and Monarch Communities. The neighborhood will consists of twenty nine (29) luxury single-family villas within the master planned gates of Silverleafs' Horseshoe Canyon. Nestled on a little over eight (8) acres of high sonoran desert and adjacent to the Beardsley Wash Desert Park, each villa will experience a unique setting and views of the McDowell Mountains.

The site referred to as Parcel T-1 is 8.3 acres and is zoned R-5 PCD. This application is requesting approval of our site plan, architectural floor plans and elevations, and the colors and materials.

The concept of integrating superior architectural style, flexible floor plans ranging in size from about 2,300 sq. ft. to 4,000 sq. ft., along with a lifestyle of low maintenance landscape and the facilities of Silverleaf will appeal to a large market segment looking to simplify their lives while enjoying some of the finer conveniences in life. Additionally, it will offer the opportunity for seasonal residents looking for genuine sonoran luxury living with world-class amenities.

The architectural design reflects regional "Southwestern-Spanish" style. Based on Silverleaf design guidelines, three variations in style are developed to provide custom choice and personal flavor. These are represented by "Spanish colonial", "Monterey" and "Typical Spanish" architectural details. Homebuyers will be provided choice of three basic stucco colors, which are all complimentary to on another and within warm Silverleaf and sonoran desert color family. "Golden Terra Cotta" tiled roof unifies architectural styles of all the units within the community while a variety of hip and gable roof combinations, eave details and floor types provide individual lifestyle of each family. High standard aluminum clad window system and non-reflective tinted glass enhances both interior and exterior living quality of this community.

Great lengths have been taken in studying the land and its unique setting in order to create a community that embraces the desert surrounding while protecting the beauty of the adjacent Beardsley Wash. A team of the valley's finest design professionals has been assembled to ensure the creation of a community that will meet this vision. The team is comprised of H&S International (architect), Wood, Patel & Associates (civil engineers), and Greey/Pickett (land planning & landscape architect).

11-PP-2004  
25-PR-2004

ATTACHMENT #1

8/30/2004





Q.S.  
40-52

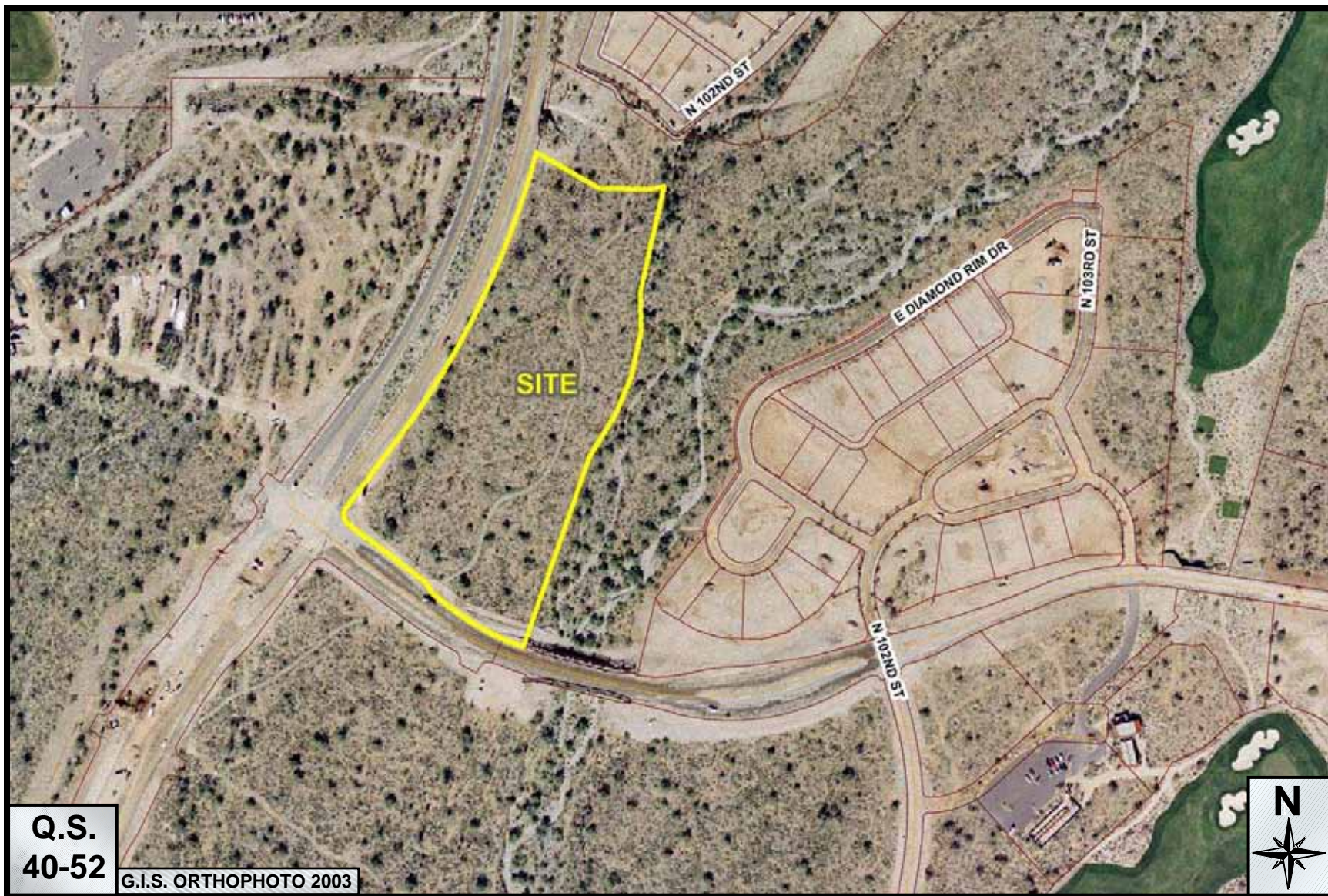
LOCKWOOD DR  
G.I.S. ORTHOPHOTO 2003

Silver Leaf

11-PP-2004 / 25-DR-2004

ATTACHMENT #2





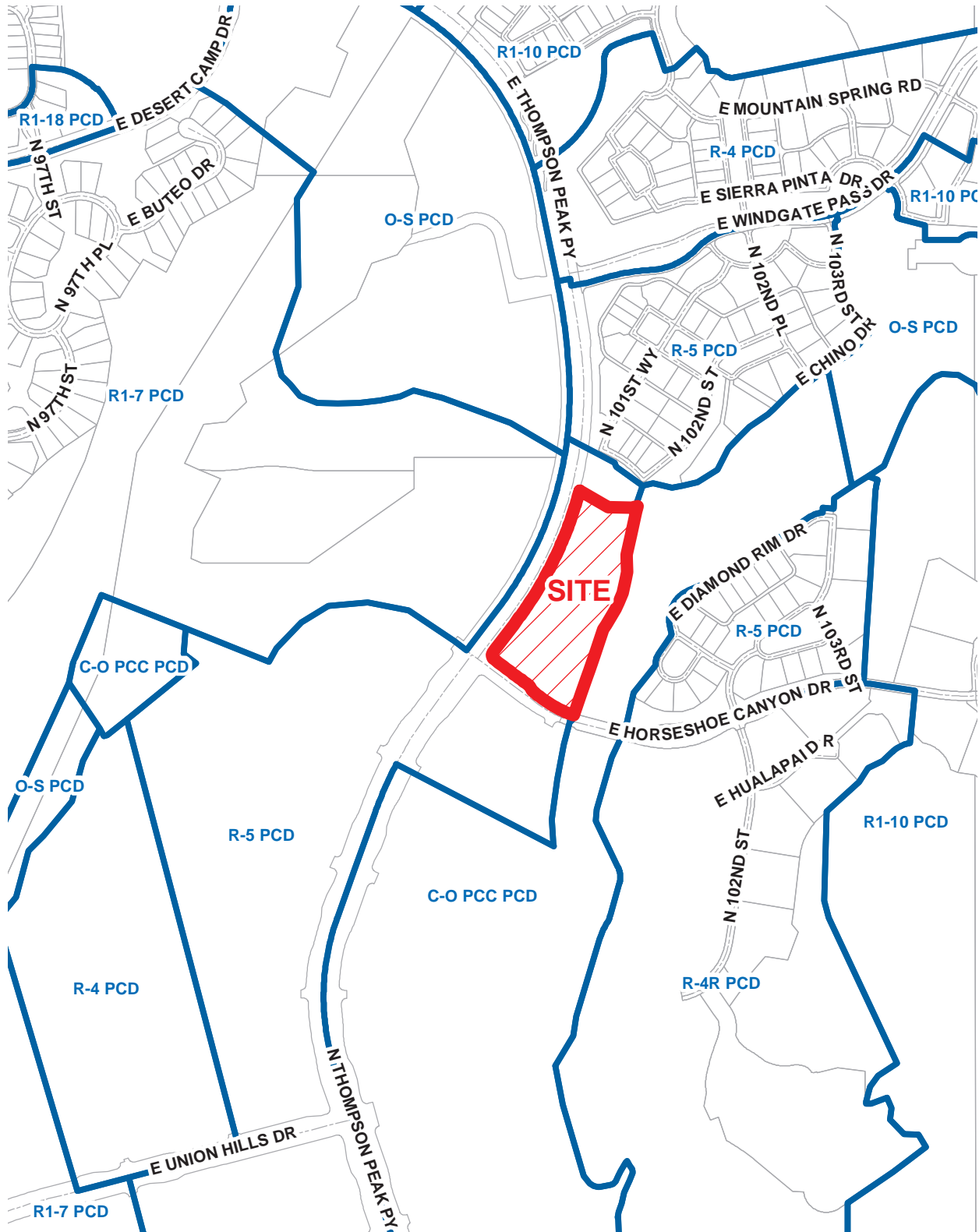
Q.S.  
40-52

G.I.S. ORTHOPHOTO 2003

Silver Leaf

11-PP-2004 / 25-DR-2004

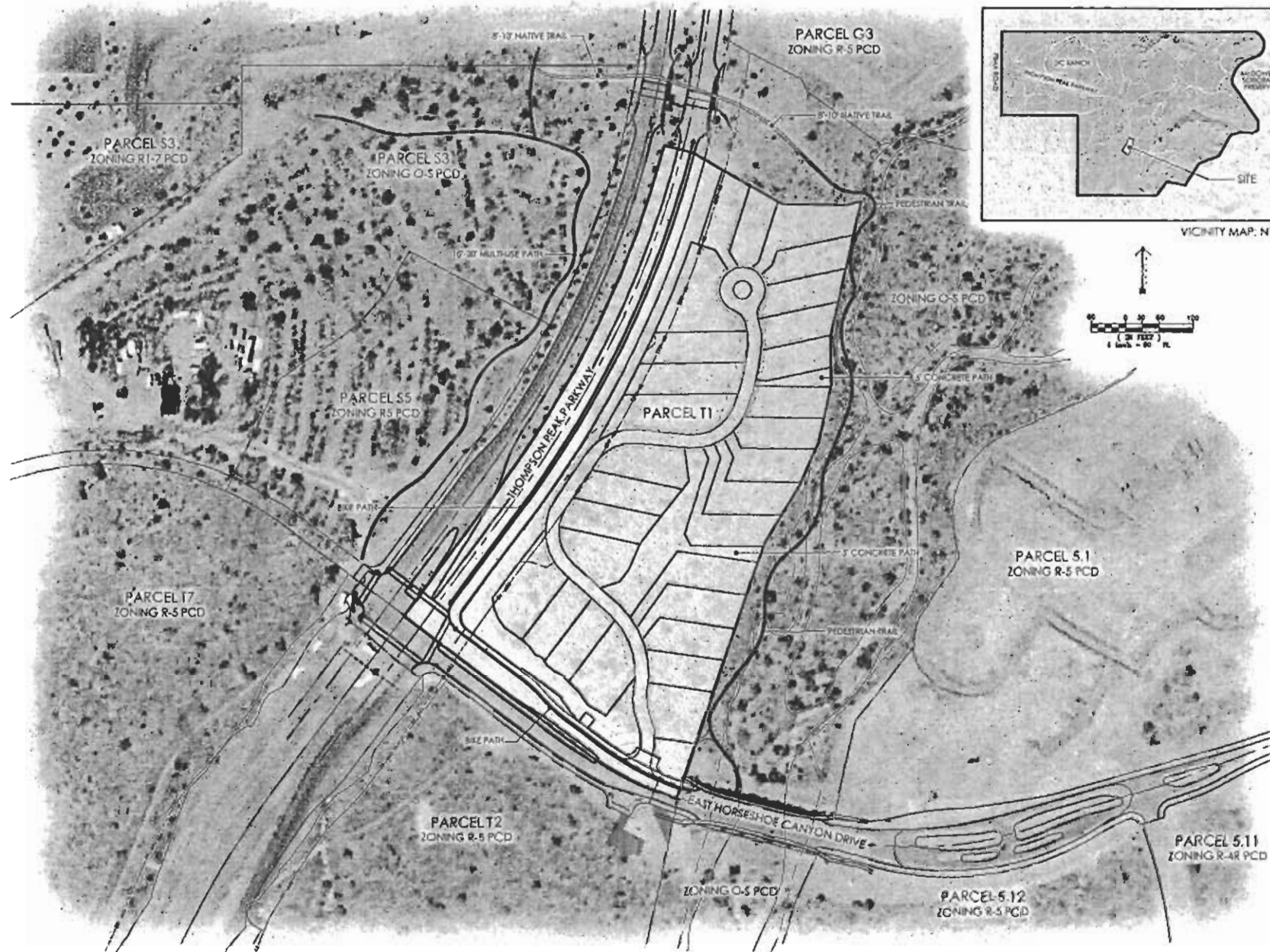
ATTACHMENT #2A



11-PP-2004 / 25-DR-2004

ATTACHMENT #3





11-PP & 25-DR-2004  
REV: 8/17/04

DESIGN REVIEW PACKAGE      CONTEXT AERIAL & SITE PLAN



**Silver Leaf GOLF VILLAS**

SILVERLEAF      Parcel T1      SCOTTSDALE, ARIZONA



11-PP & 25-DR-2004  
REV: 8/17/04



HSB International Co.  
1700 N. Pecosville Way  
Scottsdale, Arizona 85255  
480-585-1235  
480-585-1236 (FAX)

WOOD/PATEL ASSOCIATES  
1200 N. Pecosville Way  
Scottsdale, Arizona 85255  
480-585-1235  
480-585-1236 (FAX)

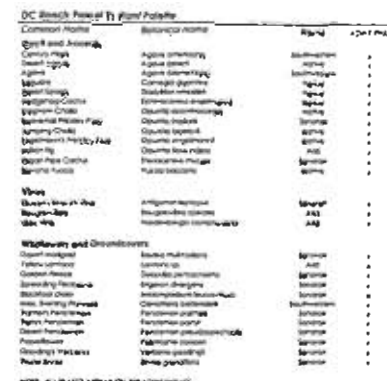
**Silver Leaf GOLF VILLAS**  
Parcel T1 - SCOTTSDALE, ARIZONA  
SILVERLEAF  
PRELIMINARY PLAT - SITE PLAN



WOOD/PATEL ASSOCIATES  
1200 N. Pecosville Way  
Scottsdale, Arizona 85255  
480-585-1235  
480-585-1236 (FAX)

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DESIGN REVIEW PACKAGE







STREETSCAPE



VILLA A GATE (CASITA OPTIONAL)



VILLA B GATE (CASITA OPTIONAL)



VILLA C GATE (CASITA OPTIONAL)

**25-DR-2004**  
REV: 8/17/04

SCALE: 1/4" = 1'-0"

ATTACHMENT #6



N&S International  
Only for Architects

*Silver Leaf* GOLF VILLAS  
SILVERLEAF Parcel T1 · SCOTTSDALE, ARIZONA

DESIGN REVIEW PACKAGE

A3.4





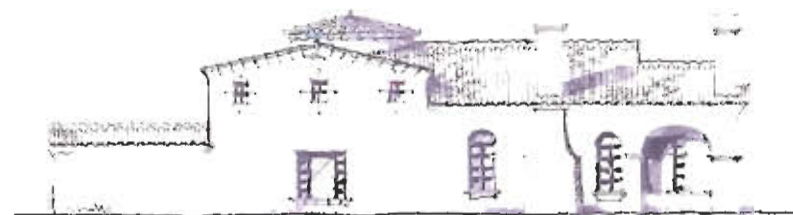


FRONT ELEVATION

REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION

**25-DR-2004**  
REV: 8/17/04

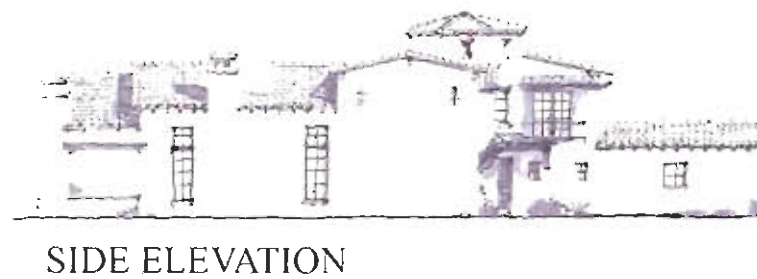
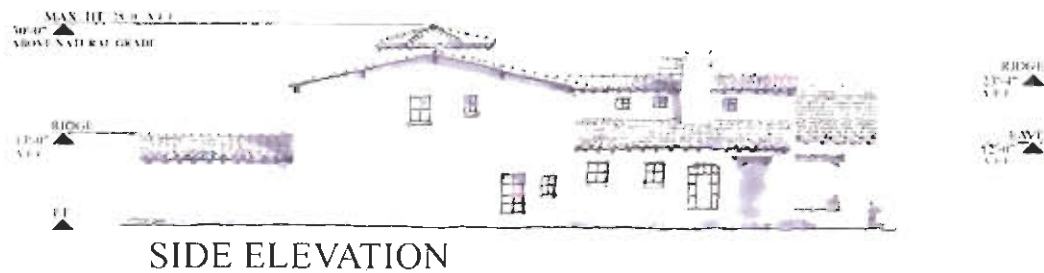
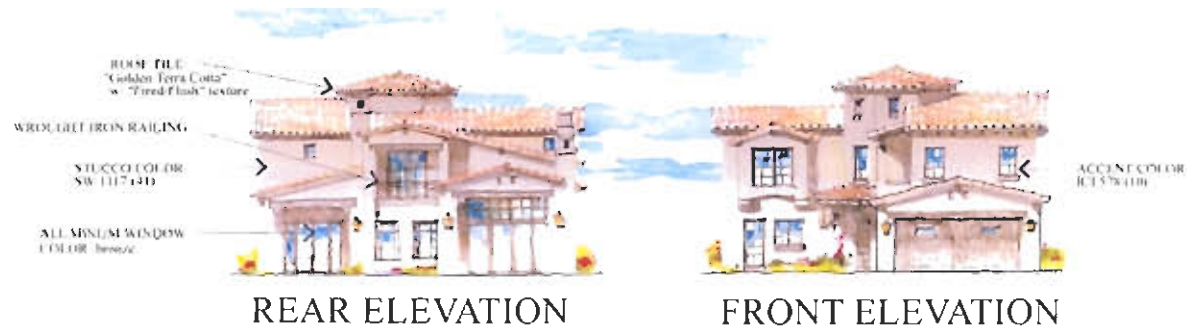
UNIT 2B  
SCALE: 1/8" = 1'-0"

DESIGN REVIEW PACKAGE

A3.2

*Silver Leaf* GOLF VILLAS

SILVERLEAF Parcel T1 SCOTTSDALE, ARIZONA



**25-DR-2004**  
REV: 8/17/04

UNIT 2C  
SCALE 1/8" = 1'-0"

DESIGN REVIEW PACKAGE

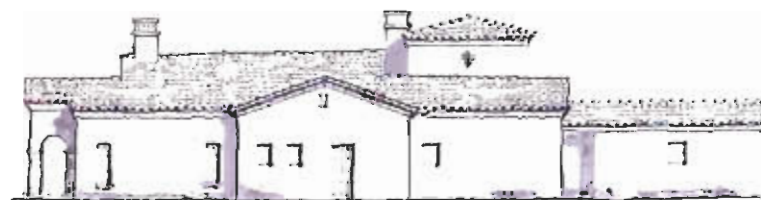
A3.3

*Silver Leaf* GOLF VILLAS

SILVERLEAF Parcel T1 SCOTTSDALE, ARIZONA



SIDE ELEVATION



SIDE ELEVATION

**25-DR-2004**  
REV: 8/17/04

UNIT 1A  
SCALE: 1/8" = 1'-0"

DESIGN REVIEW PACKAGE

A3.5

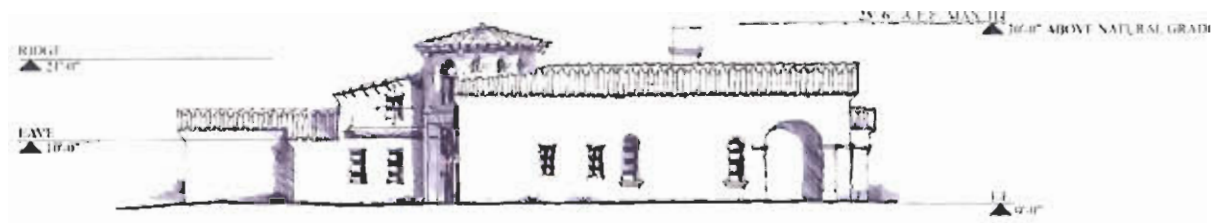
*Silver Leaf* GOLF VILLAS  
SILVERLEAF Parcel T1 SCOTTSDALE, ARIZONA





FRONT ELEVATION

REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION

**25-DR-2004**  
REV: 8/17/04

**UNIT 1B**  
SCALE: 1/8" = 1'-0"

DESIGN REVIEW PACKAGE

**A3.6**

*Silver Leaf* GOLF VILLAS

SILVERLEAF Parcel T1 · SCOTTSDALE, ARIZONA





25-DR-2004  
REV: 8/17/04

UNIT 1C  
SHEET 1C.1

DESIGN REVIEW PACKAGE

A3.7

Silver Leaf GOLF VILLAGES  
SILVERLEAF Parcel T1 · SCOTTSDALE, ARIZONA

H&S International II  
Architects



FRONT ELEVATION



REAR ELEVATION

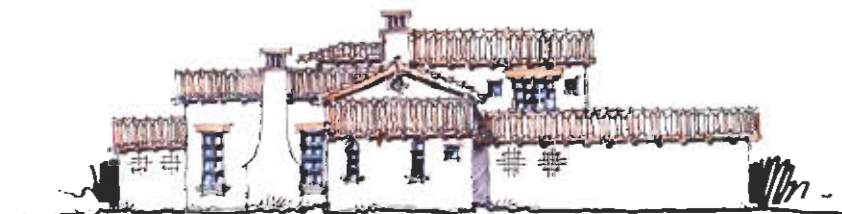
ROOF TILE:  
"Golden Terra Cotta"  
w/ "Tired-Flash" texture

STUCCO COLOR:  
ICI 521 (35)

ALUMINUM WINDOW  
COLOR: bronze



SIDE ELEVATION



SIDE ELEVATION

**25-DR-2004**  
REV: 8/17/04

UNIT 1D  
SCALE 1/8" = 1'-0"

DESIGN REVIEW PACKAGE

A3.8

Silver Leaf GOLF VILLAS  
SILVERLEAF Parcel T1 SCOTTSDALE, ARIZONA

N&S International II  
10000 N. 10th Ave. Suite 100  
Scottsdale, AZ 85254  
Tel: 480.344.1111  
Fax: 480.344.1112  
www.nands.com

D.C. RANCH PARCEL  
T-1 SILVERLEAF VILLA  
HORSESHOE CANYON &  
THOMPSON PEAK PKWY

## FIRE ORDINANCE REQUIREMENTS

(INCORPORATE THE DESIGNATED STIPULATIONS INTO FINAL PLAT)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☐ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☐ 4. PROVIDE A KNOX ACCESS SYSTEM:
  - ☐ A. KNOX BOX
  - ☐ B. PADLOCK
  - ☐ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☐ 5. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. \_\_\_\_\_
- ☒ 6. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 7. NUMBER OF FIRE HYDRANTS REQUIRED, -03-. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF \_\_\_\_\_ AT \_\_\_\_\_ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☒ 8. SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☒ 9. MODIFIED NFPA 13-D SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS.
- ☐ 10. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☐ 11. NFPA (2002 EDITION) COMMERCIAL SYSTEM / DESIGN CRITERIA:
- ☐ 12. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☐ 13. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☐ 14. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x \_\_\_\_\_ (NSHT)
  - ☐ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
  - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 15. ALL STREETS & PRIVATE DRIVES SHALL BE DESIGNED TO A MIN. 100 YEAR STORM & FOR EMERGENCY VEHICLE ACCESS. PROVIDE A LOOPED WATER MAIN SYSTEM. PRIVATE DRIVEWAYS DESIGN IS NOT REVIEWED AT THIS TIME.



D. C. RANCH T-1 SILVER LEAF  
GOLF VILLAS E. HORSESHOE CANYON  
& THOMPSON PEAK PKWY.  
SCOTTSDALE, AZ.

## FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☐ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☐ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☐ 5. PROVIDE A KNOX ACCESS SYSTEM:
  - ☐ A. KNOX BOX
  - ☐ B. PADLOCK
  - ☐ C. KNOX OVERRIDE & STROBE SWITCH FOR AUTOMATIC GATES.
- ☐ 6. SUBMIT PLANS FOR A CLASS \_\_\_\_\_ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☐ 7. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.  
 (SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☐ 8. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. \_\_\_\_\_
- ☐ 9. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☐ 10. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER(S) OF CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 11. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 20') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 12. NUMBER OF FIRE HYDRANTS REQUIRED, -03-. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF \_\_\_\_\_ AT \_\_\_\_\_ GPM THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☐ 13. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) \_\_\_\_\_
- ☐ 14. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS \_\_\_\_\_
- ☐ 15. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. PERMIT FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED REQUIRES THAT A COMPLETED HMMP BE PROVIDED WITH SUBMITTAL OF BUILDING PLANS.
- ☐ 16. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☐ 17. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x \_\_\_\_\_ (NSHT)
  - ☐ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
  - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☐ 18. THE FIRE LINE SHALL BE EXTENDED A MAXIMUM OF 3' INTO THE BUILDING WITH A MINIMUM OF \_\_\_\_\_ CLEARANCE AROUND THE FIRE RISER. EXTERIOR ACCESS MAY BE REQUIRED.

19. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA (2002 EDITION) & CITY ORDINANCE. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☒ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☐ C. NFPA (2002 EDITION) COMMERCIAL SYSTEM / DESIGN CRITERIA:
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA;
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☒ G. PROVIDE A LOOPED UNDERGROUND WATER MAIN SYSTEM. -- ALL STREETS & PRIVATE DRIVEWAYS SHALL BE DESIGNED TO A MIN. 100 YEAR STORM AND FOR EMERGENCY VEHICLE ACCESS. REVISED THE SITE PLAN ON 07-19-04 "

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

RESIDENTIAL SUBDIVISION DC RANCH PLANNING UNIT IV & VI  
STIPULATIONS FOR PARCEL T-1

FINAL PLATS MUST BE PER THE APPROVED PRELIMINARY PLAT WITH THE MODIFICATIONS PER THE FOLLOWING STIPULATIONS TO OBTAIN PERMITS
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SITE DESIGN:

1. Site design shall conform to the land use budget for Planning Units III, V, and VI of case 54-ZN-89 #1-8, amended development standards for the R-5 zoning districts (and R1-10 as referenced in the R-5 district), the Planning Master Plans for Planning Units III, V, and VI (PMP), and the Town Center Generalized Design Concept Plan (GDGP) to the satisfaction of Planning and Development Services' Plan Review staff.
2. The developer shall provide an update to the 54-ZN-89#1-8 Land Use Budget Summary, and the Residential Land Use Summary (specifically for DC Ranch Planning Units III, V, and VI) with the final plans submittal. The updates to these Summaries shall document conformance with the maximum densities and units, and the minimum NAOS to be provided by Planning Units III, V, and VI as noted in case 54-ZN-89#1-8, to the satisfaction of Planning and Development Services' Plan Review staff.
3. Tracts reserved for open space or other uses shall conform to the PMP, to the satisfaction of Planning and Development Services' Plan Review staff.
4. The design/elevations/color of the proposed wash control devices shall be in conformance with the PMP, to the satisfaction of Planning and Development Services' Plan Review staff. With the final plans submittal, the developer shall provide elevations, sections, details, etc., which shall be subject to Planning and Development Services' Plan Review (planning and civil) approval.
5. Final plat shall identify the ownership and maintenance of any land not used for residential lots.
6. Any proposed unpaved drives and parking areas shall be treated for dust control.
7. Flagpoles, if provided, shall be one piece conical tapered.
8. The T-1 parcel developer shall dedicate private cross-access easements across all shared driveways to the affected/associated lots to the satisfaction of Planning and Development Services' Plan Review staff.
9. The T-1 parcel developer shall identify the entity/entities responsible for maintenance of all shared driveways on the final plat. The entity/entities shall be responsible for all associate maintenance for the share driveways, this shall be noted on the final plat.
10. The T-1 parcel developer shall dedicated Emergency access easements, with a minimum width of 20-feet, to the City of Scottsdale across all shared driveways.

## CASE NO. 11-PP-2004

### ON-SITE LIGHTING:

1. All lighting shall be consistent with the approved PMP and the Thematic Character Study for Planning Units II & IV, to the satisfaction of Planning and Development Services' Plan Review staff.
2. Provide plans indicating locations and details of all exterior on-site lighting and lighting fixtures (re: diffusing, standards, glare, height, etc.) at the time of landscape plans submittal.
3. The T-1 parcel developer shall provide all T-1 parcel lighting. Lighting location shall be accordance Conceptual Lighting Plan provided by H&S International LLC., dated 8/17/04 by city staff, to the satisfaction of Planning and Development Services' Plan Review staff.

### SIGNS:

1. All signs shall be consistent with the approved Thematic Character Study for Planning Units II and IV, to the satisfaction of Planning and Development Services' Plan Review staff.
2. Provide note on final plans: Signs require separate approvals and permits.

### BIKEPATHS/PUBLIC USE TRAILS:

1. The internal path, trails and sidewalk system shall be consistent with the Parks and Circulation Plan in the PMP, and Pedestrian Plan provided by H&S International LLC., dated 8/17/04 by city staff, to the satisfaction of Planning and Development Services' Plan Review staff.
2. The internal path, trail s, and sidewalk system shall be constructed by the T-1 Parcel Developer as indicated on the Site Plan provided by H&S International LLC., dated 8/17/04 by city staff, to the satisfaction of Planning and Development Services' Plan Review staff.
3. The developer shall indicate the location of trail connections, any associated easements, and improvement with the final plans submittal.

### WALL DESIGN:

1. No permanent chain link fencing shall be allowed except as approved by the Project Coordination staff.
2. All perimeter walls on lot shall be provided in private wall and maintenance easements dedicated to the DC Ranch homeowners association.
3. The homeowners association shall be responsible for the maintenance of the perimeter walls, this noted on the final plat.
4. The maintenance responsibilities of the perimeter walls shall be noted on the final plat.



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### LANDSCAPING:

1. Landscaping and plant material shall be consistent with the PMP, to the satisfaction of Planning and Development Services' Plan Review staff.
2. Incorporate existing vegetation into the landscape design.
3. Non-indigenous plant materials, which have a potential of exceeding 20 feet in height, are not to be introduced on the site, except as approved by Project Coordination Manager, in compliance with 54-ZN-89#1-8, or as previously approved through the PMP.
4. Upon removal of the salvageable native plants the salvage contractor shall submit a completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Planning Inspector within 3 months from the beginning of salvage operations and/or prior to issuance of the Certificate of Occupancy.
5. Sight distance triangles and sight distance lines shall be shown on final plans for all intersections. Area within the safety triangle is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 2 feet. Trees within the safety triangle shall either have a canopy that begins at 7 feet in height upon installation or be maintained to ensure visibility is not obstructed. All heights are measured from nearest street line elevation.
6. Turf areas are to be a minimum of 10 feet in width.
7. Provide positive drainage away from walks and curbs along all streets abutting natural terrain except as set forth in the PMP.
8. Setback all spray and stream type irrigation heads 1'-0" from back of curb or sidewalk to reduce over-spray, or provide design alternatives to achieve similar results to be approved by Planning and Development Services' Plan Review staff.
9. All roadway tracts shall be landscaped by the developer and or homeowner as approved by the to the satisfaction of Planning and Development Services' Plan Review staff.
10. Cut and fills adjacent to the wash shall be revegetated so that they appear to be naturally occurring to the satisfaction of Planning and Development Services' Plan Review staff.
11. Exposed stone cut slopes and riprap shall be treated with enoite or similar to the satisfaction of the Planning and Development Services' staff.
12. Riprap shall be indigenous stone.
13. The landscape plan for all model home(s) shall be submitted for final plans review and approval.

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### IRRIGATION:

1. At the time of final irrigation plan submittal the applicant shall identify the location of backflow preventors and the means of screening to be provided.
2. If NAOS is proposed, a temporary irrigation system is required in revegetated NAOS areas. This system shall be disconnected once the plant material is established and shall not exceed a period of three years.

### NATURAL AREA OPEN SPACE (NAOS), VISTA COORIDORS, CONCERVATION AREAS:

1. If NAOS is proposed, provide a separate, dimensioned plan indicating the limits of construction to assure the (NAOS, drainage, vista corridor, and scenic corridor) remains natural - for field staff review and approval.
2. Vista Corridors easements shall be dedicated to the City of Scottsdale over washes that contain Q100 flows of 750 cfs and greater. The easement shall included the entire 100 year limits of inundation and shall be a minimum of 100-feet in width to the satisfaction of Planning and Development Services' Plan Review staff
3. NAOS shall be dedicated over the vista corridor easements.

### OTHER:

1. Unless addressed herein, plan and improvement conflicts with the plans provided by H&S International LLC., dated 8/17/04 by city staff, shall be revised and improvements provided to the satisfaction of the Project Coordination Manager.

## TRAFFIC STIPULATION REQUIREMENTS CIRCULATION AND REFUSE

### INTERNAL CIRCULATION:

1. The internal streets shall be private. The private street tracts shall be dedicated to provide emergency and service vehicle access and public utility construction and maintenance.
2. An 8-foot wide public utility easement shall be dedicated along both sides of the internal streets. The 8-foot wide easements may be reduced or eliminated upon approval of the public utility companies.
3. The circulation elements shall be in conformance with the DC Ranch Master Circulation Plan for Planning Units III, V, and VI.

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### STRIPING AND SIGNAGE PLAN:

1. All incidental signing and striping required by site roadway improvements shall be included on the roadway paving plans.

### SIGHT DISTANCE:

1. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height, and 6 inches maximum width or diameter.
2. Sight distance easements shall be dedicated over sight distance triangles.
3. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

### REFUSE COLLECTION:

1. If individual (80-gallon) refuse containers are not planned for the development, the site's trash enclosures shall be constructed to City of Scottsdale's standards.
2. The City of Scottsdale's Solid Waste Services will not pick up individual refuse containers within the proposed private driveways of residences. Final plans shall designate refuse container pickup locations with lot or unit number specified and all container pickup locations shall be along the main internal drive.

## DRAINAGE AND FLOOD CONTROL STIPULATIONS

### DRAINAGE:

1. COMPLIANCE. The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate conformance to City ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.
2. FINAL DRAINAGE REPORT. With the final improvement plans submittal, the developer shall submit a final drainage report and plan, subject to Plan Review and Permit Services Division approval. Before the approval of final improvement plans by City staff, the developer shall submit two (2) hard copies of the complete final drainage report and plan. The final drainage report and plan shall:
  - a. The final drainage report shall be in general conformance with the preliminary drainage report for DC Ranch Parcel T1 prepared by Wood, Patel and Associates.
  - b. Reference and be consistent with the drainage report titled "DC Ranch Planning Units III, V & VI Addendum to Part 4 Drainage Plan Study," dated December 25, 2001 and accepted by the City on April 29, 2002.

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- c. Provide final calculations and detailed analyses that demonstrate consistency with the conceptual drainage report and plan accepted in concept by the Current Planning Services Division.
  - d. Provide calculations for sizing all road-crossing culverts. Provide calculations for determining depths of flow over all road crossings. Demonstrate that during the 100-year storm, all building lots will be accessible from the boundary of the development without having to drive through a depth of water of greater than 1 foot.
  - e. Show all upstream contributing basin areas, including calculations and analyses for the peak runoff entering the site. Include a discussion of how the lowest floor elevations are established.
  - f. Demonstrate that historical flow through the site has been maintained and that storm water runoff exiting this site has a safe place to flow.
  - g. Include a clearly legible HEC-1 Schematic that shows all concentration points and connecting flow lines, and that is consistent with the HEC-1 model.
  - h. Include an exhibit that indicates where the site lies within the FEMA designated areas and define all pertinent FEMA designations.
  - j. Where rip-rap is proposed, provide calculations for rip-rap lined channels and rip-rap outlet structures using the design criteria for characteristic sizing, gradation, thickness and filter-blanket requirements from the Drainage Design Manual for Maricopa County, Volume II, or hydraulic design of energy dissipaters for culverts and channels U.S. Department of Transportation, FHWA, September 1983.
3. STORM WATER STORAGE REQUIREMENT. Stormwater storage shall be provided per the approved addendum to the master drainage report and plan as stated in 2(a) above.
4. SPLIT FLOWS. Per Section 2.2, page 8, of the Design Standards and Policies Manual, in setting finished floor elevations regarding upstream splits, the engineer shall assume that 100% of the flow could go either direction in any given flood event. For infrastructure design, the estimate of the actual split based on a hydraulic analysis of the existing channel cross-sections must include a minimum safety factor of 30%.
5. UTILITY CONFLICT COORDINATION. Before improvement plan approval by the Plan Review and Permit Services Division, the developer shall submit a signed No Conflict form (not required for City-owned utilities) from every affected utility company.
6. GRADING AND DRAINAGE PLAN. A final grading and drainage plan shall be submitted to the Plan Review and Permit Services Division. The grading and drainage plan shall include, but not be limited to, the following:
  - a. Benchmark datum shall be based on North American Datum of 1988.
  - b. Provide a base plan sheet with topography at 2-foot minimum contour lines.



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- c. Contours, or sufficient spot elevations, shall be shown beyond the limits of construction as required to sufficiently reflect the impact of development on the abutting improvements and or rights of way.
  - d. Show top of curb elevations in front of each lot, at grade breaks and at intersection corners.
  - e. Show street cross slope direction (use arrows).
  - f. Show all easements including, but not limited to, slope, public utility, vehicular non-access, waterline, sanitary sewer line, etc.
  - g. Show all drainage facilities (culverts, storm drains, berms, swales, etc.). Show the sizes of all culverts.
  - h. Show  $Q_{(100)}$  at all culvert inlets, where wash corridors converge, and at storm water entrance/exit points of the parcel boundaries.
  - i. Show the limits of inundation for all washes having a flow rate of 50 cfs or more using the peak runoff from the 100-year, 6-hour storm event.
  - j. Note: "Where used, rip-rap shall be placed so that a dense, uniform mass of durable, angular stones with no apparent voids or pockets is configured."
  - k. Show all multi-use paths and multi-use trails.
  - l. Show all walls, such as perimeter, screening and retaining walls.
  - m. *Wash stabilization options shall conform to the EDMP unless the City approves other options.*
7. OFF-SITE RUNOFF. All development shall be designed to satisfactorily convey peak discharge for the 100-year, 6-hour storm event through the site without significant damage to structures.
8. ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) REQUIREMENTS. All construction activities that disturb one or more acres shall obtain coverage under the Arizona Pollutant Discharge Elimination System (AZPDES) Construction General Permit. To gain coverage, operators of construction sites must:
- a. Submit a Notice of Intent (NOI) to ADEQ;
  - b. Prepare a Stormwater Pollution Prevention Plan (SWPPP) and keep a copy on site;
  - c. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall submit two copies of the NOI and a copy of the Storm Water Pollution Prevention Plan.
  - d. Send a Notice of Termination (NOT) to ADEQ when construction is completed.
- Contact ADEQ at 602-771-4449 for further information. Forms are available from the City of Scottsdale One Stop Shop, 7447 East Indian School Road, Suite 100 or from ADEQ's web site: <http://www.adeq.state.az.us/enviro/water/permits/stormwater.html#const>

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9. SECTION 404 PERMITS. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]
10. DUST CONTROL PERMITS. Prior to the start of grading on sites 1/10 acre or larger, a Dust Control Permit (earth moving permit) must be obtained from Maricopa County Division of Air Pollution Control. Call the county (602-506-6700) for fees and application information.
11. Lots 15 through 29 are in close proximity to the wash located east of this site. The final drainage report shall provide an analysis of the potential for erosion/meandering of this wash. Mitigation for potential erosion shall be provided if warranted based on the results of the analysis.

### DRAINAGE STRUCTURES:

1. RETAINING WALLS. Provide a structural design report for retaining walls, including but not limited to, scouring analyses and calculations for active forces based on an associated geotechnical analysis of the soil and soil conditions.

### VERIFICATION OF COMPLIANCE

1. REQUIRED SPECIAL INSPECTIONS. Before the approval of the improvement plans, the Plan Review and Permit Services Division staff shall specify those drainage facilities that shall be required to have Special Inspections. See Section 2-109 of the Design Standards and Policies Manual for more information on this process.
2. CONDITION FOR ISSUANCE OF GRADING & DRAINAGE PERMIT. Before the issuance of a Grading & Drainage Permit:
  - a. The developer shall certify that it has retained an Inspecting Engineer by completing Part I (Project Information) and Part II (Owner's Notification of Special Inspection) of the Certificate of Special Inspection of Drainage Facilities (CSIDF); and,
  - b. The Inspecting Engineer shall complete Part III (Certificate of Responsibility) of the CSIDF.
3. CONDITION FOR ISSUANCE OF CERTIFICATE OF OCCUPANCY AND/OR LETTER OF ACCEPTANCE. Before the issuance of a Certificate of Occupancy and/or a Letter of Acceptance:
  - a. The Inspecting Engineer shall complete the Certificate of Compliance form.
  - b. The developer shall submit all required Special Inspection Checklists and the completed Certificate of Compliance form to the Inspection Services Division. The Certificate of

## CASE NO. 11-PP-2004

Compliance form shall be sealed, signed and dated by the Inspecting Engineer, and shall be attached to all required Special Inspection Checklists completed by the Inspecting Engineer.

4. AS-BUILT PLANS. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.
  - a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
  - b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, berms, and open channels as determined by City staff.

### TRACTS AND EASEMENTS:

1. DEDICATIONS. Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 50 cfs or more, and for all FEMA regulatory floodways to the extent of the 100-year base flood elevation.
  - a. All drainage and flood control easements, including easements for storm water storage, shall be dedicated on the final plat with maintenance responsibility specified to be that of the Homeowners Association and or property owner.
  - b. Before any building permit is issued for the site, any additional drainage and flood control easements determined necessary due to final design analysis and proposed improvements, shall be dedicated to the City.
2. MAINTENANCE RESPONSIBILITY. Maintenance responsibility shall be that of the Homeowners Association and or property owner. All easement dedications shall demonstrate conformance to the ordinances and the Scottsdale Revised Code – Section 37-45. In addition all easement dedications shall:
  - a. Specify the right of the City to enter into the easement for the purposes of the removal of obstructions and or impedance to the watercourse that are deemed to be a public nuisance, when so designated by the Floodplain Administrator.
  - b. Note that the Homeowners Association and or property owner shall pay actual costs for the removal of obstructions and or impedance to the watercourse.

### WATER AND WASTEWATER STIPULATIONS

#### WATER & WASTEWATER:

## CASE NO. 11-PP-2004

1. COMPLIANCE. The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance Requirements, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.
2. WATER AND WASTEWATER MASTER PLANS. All water and sewer lines shall be constructed in accordance with the City's Water and Wastewater Master Plans and the approved Master Water and Wastewater Plans for DC Ranch Planning Units III, V, and VI.
3. BASIS OF DESIGN REPORT (WATER). Before the second improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department. The basis of design report and plan shall:
  - a. Identify the location, size, condition, and availability of existing water lines and water related facilities such as valves, service lines, fire hydrants, etc.
  - b. Evaluate the project's water demands and their impact on the existing water system.
  - c. Determine the need for any additional water lines and water related facilities to support the proposed development.
  - d. Conform to the City's Integrated Water Master Plan.
  - e. Identify the timing of and parties responsible for construction of all water facilities.
4. BASIS OF DESIGN REPORT (WASTEWATER). Before the second improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department. The basis of design report and plan shall:
  - a. Identify the location of, size, condition, and availability of existing sanitary sewer lines and wastewater-related facilities.
  - b. Evaluate the project's wastewater demands and their impact on the existing wastewater system.
  - c. Determine the need for any additional wastewater lines and related facilities to support the proposed development.
  - d. Conform to the City's Wastewater System Master Plan.
  - e. Identify the timing of and parties responsible for construction of all wastewater facilities.
5. WATER SAMPLING STATIONS. Prior to the approval of the improvement plans by the Plan Review and Permit Services Division, all water sampling stations shall be shown and labeled on the improvement plans.
  - a. Water sampling station locations are subject to review and approval by the Water Quality Division. Contact Mr. Craig Miller at 480-312-8743 in the City of Scottsdale Water Resources Department for questions regarding the status of the review.
  - b. The Water Quality Division shall distribute copies of the approved sampling station location(s) to the Plan Review and Permit Services Division.



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6. CLEARANCE FROM WALLS. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
  - a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
  - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed (1) with gates or removable wall panels for maintenance and emergency access; or, (2) as a standard wall and the developer shall indemnify utility companies from damage to walls associated with repair of water and sewer lines.
7. PRESSURE FLOW TEST. At the time of final plan submittal, the developer shall submit an engineer's certification of adequate pressure and flow to the highest fire sprinkler floor elevation and a fire flow test of the water system.
8. MANHOLE LOCATION. Manholes shall not be located on lots.
9. ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS (ADEQ). The developer shall be responsible for conformance with ADEQ regulations and requirements for submittals, approvals, and notifications. The developer shall demonstrate compliance with Engineering Bulletin #10 Guidelines for the Construction of Water Systems, and applicable chapters of the Arizona Administrative Code, Title 18, Environmental Quality. In addition:
  - a. Before approval of final improvement plans by the Plan Review and Permit Services Division, the developer shall submit a cover sheet for the final improvement plans with a completed signature and date of approval from the Maricopa County Environmental Services Department (MCESD).
  - b. Before commencing construction, the contractor or developer shall provide evidence to City staff that a Certificate of Approval to Construct and/or Provisional Verification of General Permit Conformance has been approved by MCESD.
  - c. Before building permits are issued, the developer shall submit to the City a Certificate of Approval of Construction and/or Verification of General Permit Conformance signed by the MCESD and a copy of the as-built drawings.
  - d. Before issuance of Letters of Acceptance by the City's Inspection Services Division, the developer shall provide to the City a final set of as-built mylars of the improvements.
9. WATER AND SEWER SERVICES FOR LOTS 9 THROUGH 11. Lots 10 and 11 as shown on the preliminary plat will need to have their water and sewer service located on the back of the lots and lot 9 will need to have its water and sewer service located on the back or west side of the lot.
10. LAYOUT OF WATER AND SEWER. The design/alignment of water and sewer shall comply with the requirements for water and sewer within DC Ranch and shall consist of a 9' parallel offset configuration with water and sewer under pavement when in a roadway section. Detailed design requirements for the alignment of water and sewer within DC Ranch may be obtained from final plan review staff.

## **CASE NO. 11-PP-2004**

11. ABANDONMENT OF WATER AND SEWER STUBOUTS. Water and sewer stubouts along Thompson Peak Parkway and Horseshoe Canyon Drive that will not be utilized by the development shall be abandoned in conjunction with the development.

### TRACTS AND EASEMENTS`:

1. UTILITIES IN TRACTS. All utilities between lots shall be located entirely within a dedicated tract (20' minimum width).
2. EASEMENTS AND MAINTENANCE RESPONSIBILITY. All associated water and sewer line easements shall be shown on the final plat with maintenance responsibility specified with the final plat notes.
3. RESPONSIBILITY FOR LANDSCAPING IMPROVEMENTS. Indemnity agreements shall be required when substantial improvements and (or) landscaping are proposed within a utility easement. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.
4. LOT 12 WATERLINE TRACT. In accordance with Section 4-102 D of the City's Design Standards and Policies Manual, no water lines shall be installed in an easement unless the Water Resources Department has approved in writing the placement of the line(s) in an easement(s) and the property owner has granted the necessary easement(s) and/or right of way. The proposed waterline within lot 12 will require the aforementioned approval from Water Resources or the waterline must be located within a tract and lots 12 and 13 will need to be reconfigured.

## CASE NO. 11-PP-2004

### ORDINANCE REQUIREMENTS

Some Things You Should Know About Ordinance Requirements:

- ◆ Some of the Ordinance requirements that may be relevant to your project are included in the following pages as helpful information.
- ◆ There may be some Ordinance requirements, which apply to your project that aren't included here.
- ◆ Any appeals must be made in writing to the CITY CLERK'S OFFICE.

### ENGINEERING ORDINANCE REQUIREMENTS

**ALL STIPULATIONS FROM THE ASSOCIATED REZONING OR USE PERMITCASES CONTINUE TO APPLY.**

#### DRAINAGE AND FLOOD CONTROL:

1. STORM WATER STORAGE REQUIREMENT. Storm water storage is required on-site for all site runoff generated by a 2-hour, 100-year frequency design storm.
2. HISTORICAL FLOW. Off-site runoff must enter and exit the site as it did historically.
3. STORM WATER DISCHARGE. Storm water storage basins should be designed to meter flow to historic out-fall point. Where no out-fall exists (or metering is not possible), other methods of discharge may be considered.
4. STORM WATER RUNOFF. Storage basins must drain completely within 36-hours.
5. BASIN LOCATION. Storm water storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
6. STREET CROSSINGS. Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will be no greater than 1 foot.
7. SECTION 404 PERMITS. Approval from the Army Corps of Engineers under the conditions of SECTION 404 PERMIT of the Clean Water Act may be required where proposed construction is adjacent to or within washes.

## **ATTACHMENT D**

## CASE NO. 11-PP-2004

8. DEDICATIONS AND EASEMENTS. All vista corridor easements, drainage easements and easements for storm water storage shall be dedicated on the final plat, and by separate instrument as required and agreed to by city staff, with maintenance the responsibility of the property owner and or the Homeowners Association.

### REFUSE REQUIREMENTS:

1. Refuse collection methods and arrangements shall be made prior to final plans approval.

### TRAFFIC ORDINANCE REQUIREMENTS:

1. Streets and other related improvements:

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKEPATH/ SIDEWALK
Internal	Local Residential	30-Foot Tract (Private)	24Feet BC to BC	Roll Curb	4-Foot Min. Shoulders with 2-Foot Min. Shoulders for Limited Distances

### ENGINEERING WATER & SEWER ORDINANCE REQUIREMENTS

#### WATER DEVELOPMENT ORDINANCE

1. WATER PROVIDER. City of Scottsdale is responsible for supplying the water to this project.
2. HEALTH AND SAFETY REQUIREMENTS. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.
3. DEVELOPMENT FEES. The developer shall pay a development fee for city water supply in accordance with city Ordinance. This fee shall be paid at the time, and as a condition, of the issuance of a building permit, or if the development does not require a building permit, prior to connection to the city water system. All questions may be referred to Mike Mahoney a 480 312-5685, Water Resources Analyst, in the City of Scottsdale Water Resources Department.
4. WATER METER FEES. Prior to the issuance of any building permit, the developer shall pay a Water Meter Fee for connection to the City water system in accordance with City Ordinance.

**CASE NO. 11-PP-2004**  
**SEWER DEVELOPMENT ORDINANCE**

1. DEVELOPMENT FEE. The developer shall pay a development fee for city sanitary sewer in accordance with city Ordinance. This fee shall be paid at the time, and as a condition, of issuance of a building permit, or if the development does not require a building permit, prior to connection to the city sewer system. All questions may be referred to Mike Mahoney at 480 312-5685, Water Resources Analyst, in the City of Scottsdale Water Resources Department.

**PLANNING ORDINANCE REQUIREMENTS**

**LOT DESIGN:**

1. Lot area and width shall comply with amended R1-7, and R1-43 district standards of case No. 54-ZN-89 #1-7.
2. All lots shall abut a public, or private street furnishing satisfactory access thereto.

**LANDSCAPING:**

1. All plant materials in right-of-way shall be on the Department of Water Resources (DWR) low water plant list for the Phoenix Active Management Area (AMA).
2. Trees shall be provided at a rate of one tree per lot to be placed in front yard of each unit (per the City Code). Note on final landscape plans that this requirement will be met.
3. Provide documentation required for issuance of a Native Plant Permit as required in Chapter 46 of City Code and outlined in the Zoning Ordinance. The Native Plant Permit is a separate submittal and approval. (See page 12 for specific submittal requirements). Contact the City's Native Plant Officer at 312-7080 to initiate the process.
4. If models homes are provided, they shall comply with the City Code
5. Turf in all residential common areas shall comply with the City Code.

**GRADING:**

1. Prior to final plans submittal a grading report shall be submitted indicating methods and sequencing of grading, proposed locations for stockpiling or disposing of unused materials, and plans for minimizing wind and water erosion on graded areas during development and construction.

**OTHER:**

1. Comply with conditions of case No.: 54-ZN-89 #1-7, and the PMP for Planning Units III, V, and VI.



**Stipulations for Case:  
Silver Leaf Golf Villas (DC Ranch Parcel T1)  
Case 25-DR-2004**

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

**PLANNING**

**APPLICABLE DOCUMENTS AND PLANS:**

**DRB Stipulations**

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations sheets, A3.1, A3.2, A3.3, A3.4, A3.5, A3.6, A3.7, A3.8 submitted by H&S International LLC., dated 8/17/04 by city staff.

**ARCHITECTURAL DESIGN:**

**DRB Stipulations**

2. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1' higher than the tallest unit.
3. All exterior conduit and raceways shall be painted to match the building.
4. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
5. Dooley wall fencing shall not be allowed.

**Ordinance**

- A. The maximum building height shall not exceed 30-feet measured from natural grade.

**EXTERIOR LIGHTING DESIGN:**

**DRB Stipulations**

6. All lighting shall be consistent with the approved PMP and the Thematic Character Study for Planning Units II & IV, to the satisfaction of Planning and Development Services' Plan Review staff.

**OTHER:**

**Ordinance**

- B. Model complexes shall submit landscape plan in conformance with the City of Scottsdale's Revised City Code.

**RELEVANT CASES:**

**Ordinance**

- C. Site design shall conform to the land use budget for Planning Units III, V, and VI of case 54-ZN-89 #1-8, amended development standards for the R-5 zoning districts (and R1-10 as referenced in the R-5 district), the Planning Master Plans for Planning Units III, V, and VI (PMP), and the Town Center Generalized Design Concept Plan (GDCP).
- D. At the time of review this development is also comply with the conditions of 11-PP-2004.